

BRENT COUNCIL
Local Listed Building
Consent Order

This Local Listed Building Consent Order is made under the provisions as set out in the Town and Country Planning, England, Local Listed Building Consent Orders)(Procedure) Regulations 2014 No. 551.

For properties: 9, 15 – 47 (odd), 51 - 65 (odd), 32 – 64 (even), 80 - 84 (even) Princess Road, London NW6 5QT

Consent Granted by this Order:

External repairs and redecorations including replacing and repairing defective components with replacement parts to match existing.

The London Borough of Brent hereby grants consent for alterations, as specified in the Description of Works, Scope of Works and the consented plans.

There are no Conditions attached to this Order.

There is no time limit or review to this Order.

Signed Alice Lester.....(Council's authorised officer)

On behalf of BRENT.....Council

Date 14/03/2017.....

Statement of owners' rights*

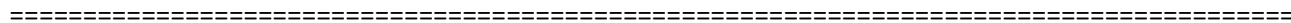
The grant of listed building consent by a local listed building consent order does not affect owners' rights to retain or dispose of their property, unless there is some provision to the contrary in an agreement or in a lease.

* "owner" means a person having a freehold interest or a leasehold interest the unexpired term of which is not less than 7 years.

Order Dated 14 March 2017



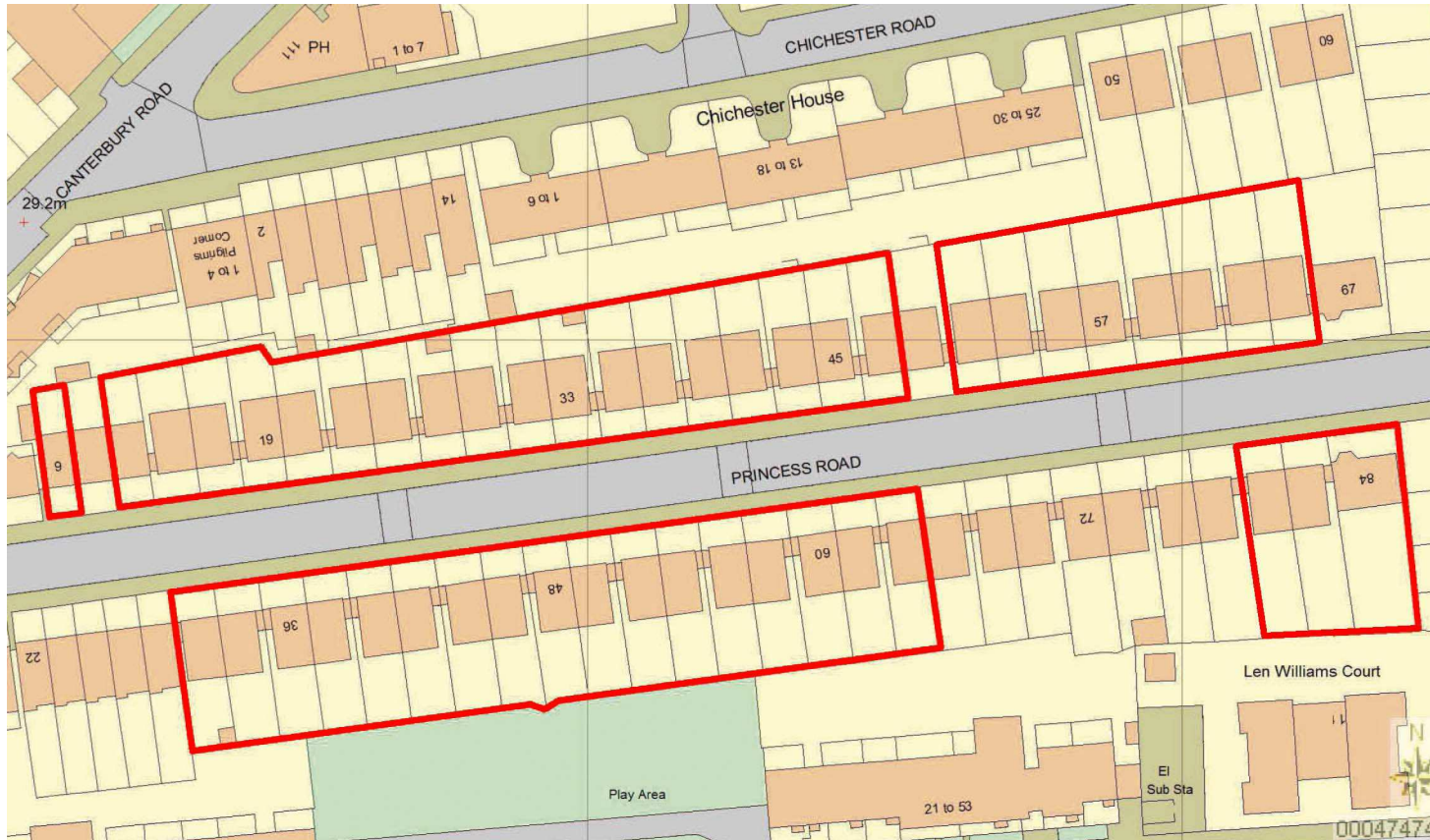
BRENT COUNCIL
Local Listed Building
Consent Order



OS Plan

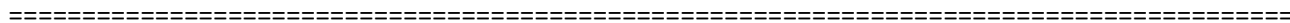
9, 13 - 47 (odd nos) PRINCESS ROAD, LONDON NW6 5QT
32 - 40 (even nos) PRINCESS ROAD, LONDON NW6 5QU
42 - 64 (even nos) PRINCESS ROAD, LONDON NW6 5QX
51 - 65 (odd nos) PRINCESS ROAD, LONDON NW6 5QT
80 - 84 (even nos) PRINCESS ROAD, LONDON NW6 5QX

SITE LOCATION PLAN
SCALE 1:1250 @ A4





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Description of Works



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This Local Listed Building Consent Order is made under the provisions as set out in the Town and Country Planning, England, Local Listed Building Consent Orders)(Procedure) Regulations 2014 No. 551.

DESCRIPTION OF WORKS

External repairs and redecorations including replacing and repairing defective components with replacement parts to match existing.

Please also see the Scope of Works for precise nature of repairs, method and replacement.

The works will include:-

Survey: A survey will be undertaken to ascertain the nature and extent of any repairs necessary

Roofs: the repair and replacement as necessary of the roof substructure including replacement battens; the installation of roofing felt and re-use and replacement in natural slate and terracotta hip and ridge tiles

Entrance canopies: Code 5 lead to be applied to entrance canopy roofs

Fascia and soffits: repair and replace as necessary

Rainwater goods: replace PVCu guttering and downpipes in metal finished in black

Brickwork: replacement with second-hand London Stock brick and repoint in lime mortar only as necessary

Render: repair and replace as necessary

External steps: where required replace defective asphalt to match

Windows front and rear elevations: repair as necessary and where PVCu replace in timber, single glazed to match existing painted white

Windows to lower ground side elevations: where modified to PVCu and metal framed replace in double glazed timber to same design painted white

Front doors: overhaul repair and repaint. Where flush doors, replace to match profile for street painted Black, Dark Blue, Dark Green, Dark Red (resident's choice)

Side doors to lower ground: where modified to PVCu, timber and metal framed replace in double glazed timber to same design painted white

Stucco work: repair and repaint in cream to match existing

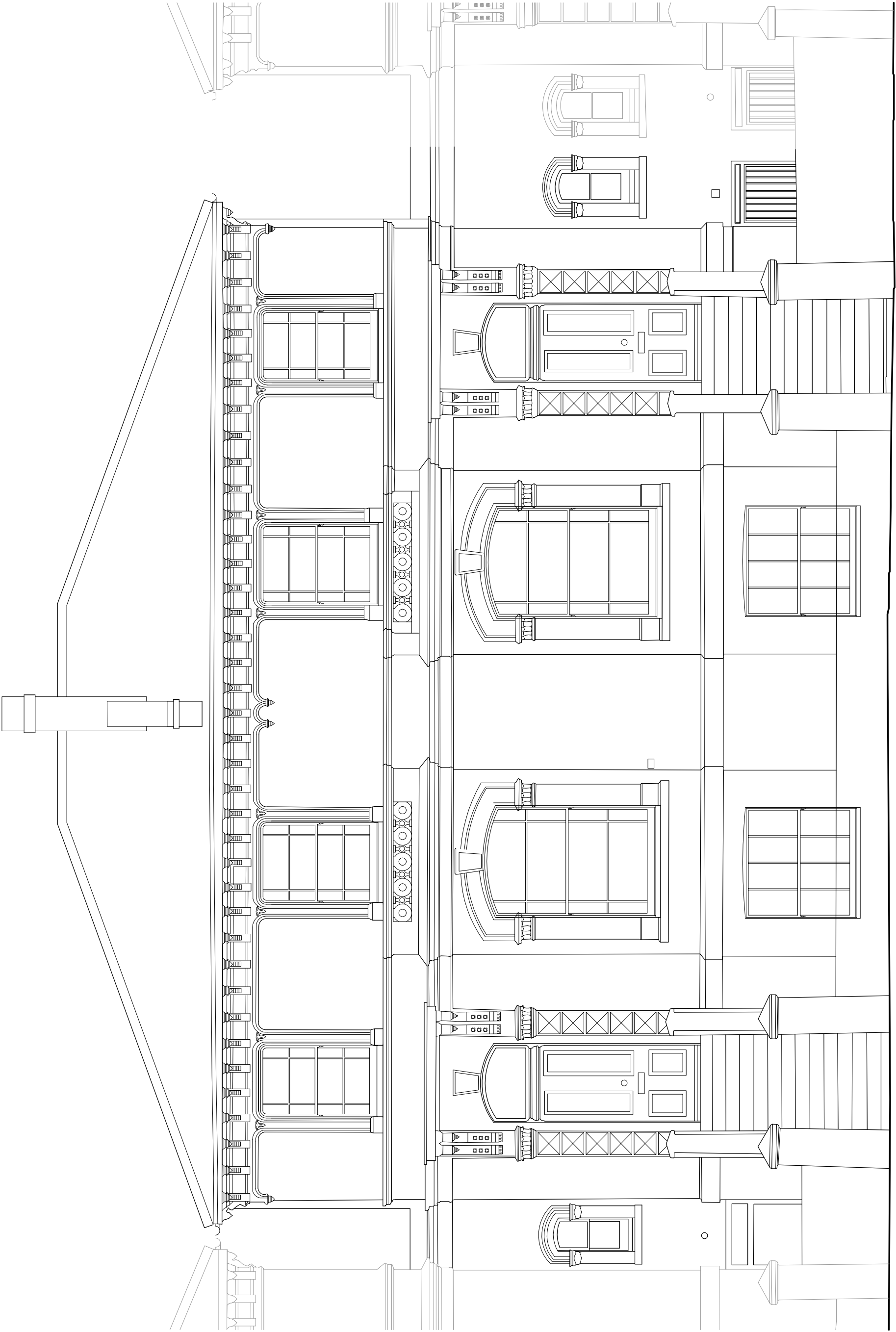
External works: repair paving, paths, steps and tiles to match existing

External wiring: remove unused wiring and rationalise routes to discreet locations



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Plans



REVISION	DATE

Do not scale this drawing.
All dimensions to be checked by the Contractor before construction proceeds.
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JOB TITLE
**BRENT HOUSING PARTNERSHIP
PLANNED MAINTENANCE
WINDOW REPLACEMENT**

DWG TITLE
**15 - 47 PRINCESS ROAD
ELEVATIONS AS EXISTING
SHEET 1 OF 2**

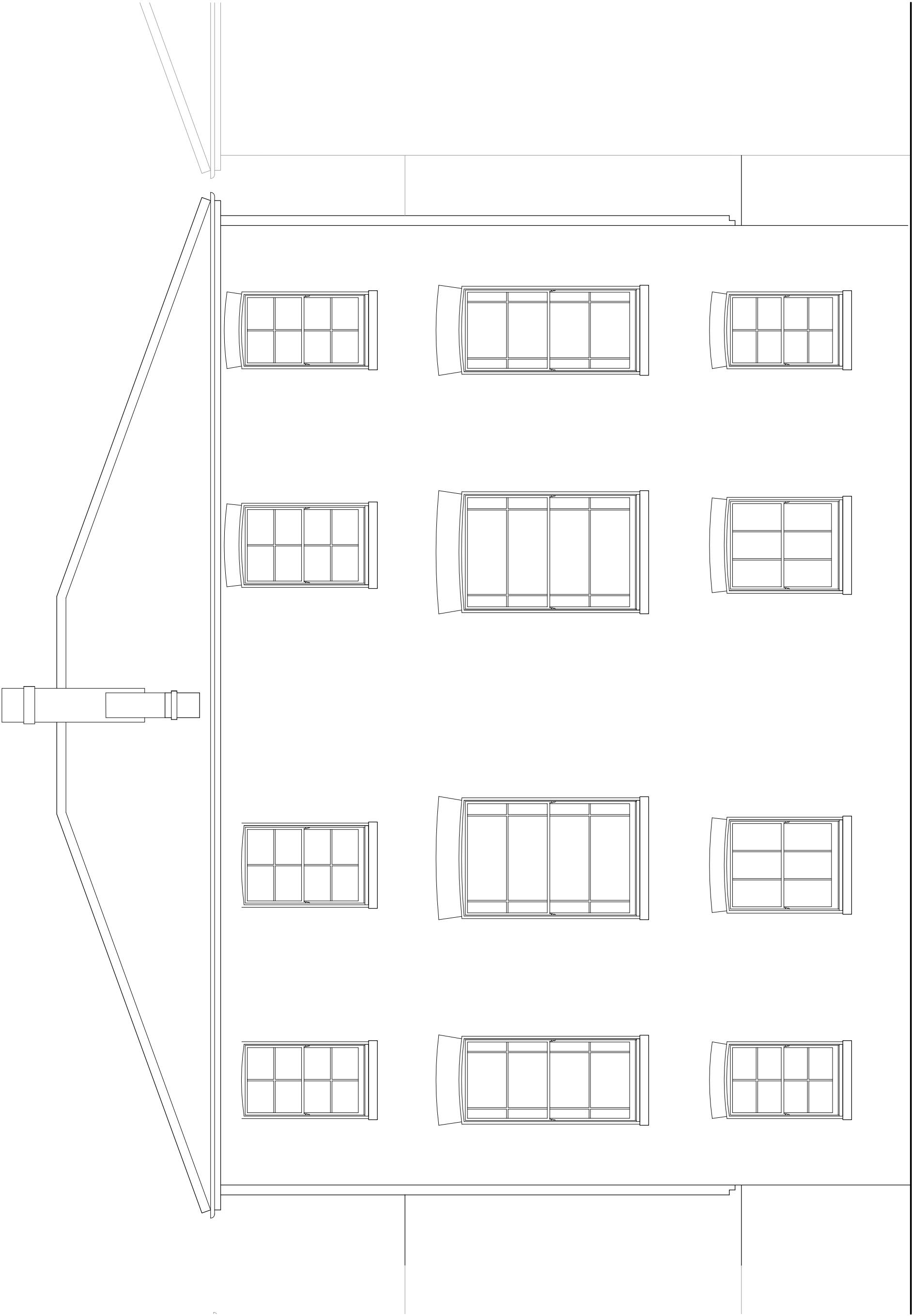
SCALE	1:50 @ A3	DWN	bs
DATE	6/16	CHK	kr
DWG NO.	248/401	REV.	

17

15



STREET ELEVATION



REVISION	DATE

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JOB TITLE
**BRENT HOUSING PARTNERSHIP
 PLANNED MAINTENANCE
 WINDOW REPLACEMENT**

DWG TITLE
**15 - 47 PRINCESS ROAD
 ELEVATIONS AS EXISTING
 SHEET 2 OF 2**

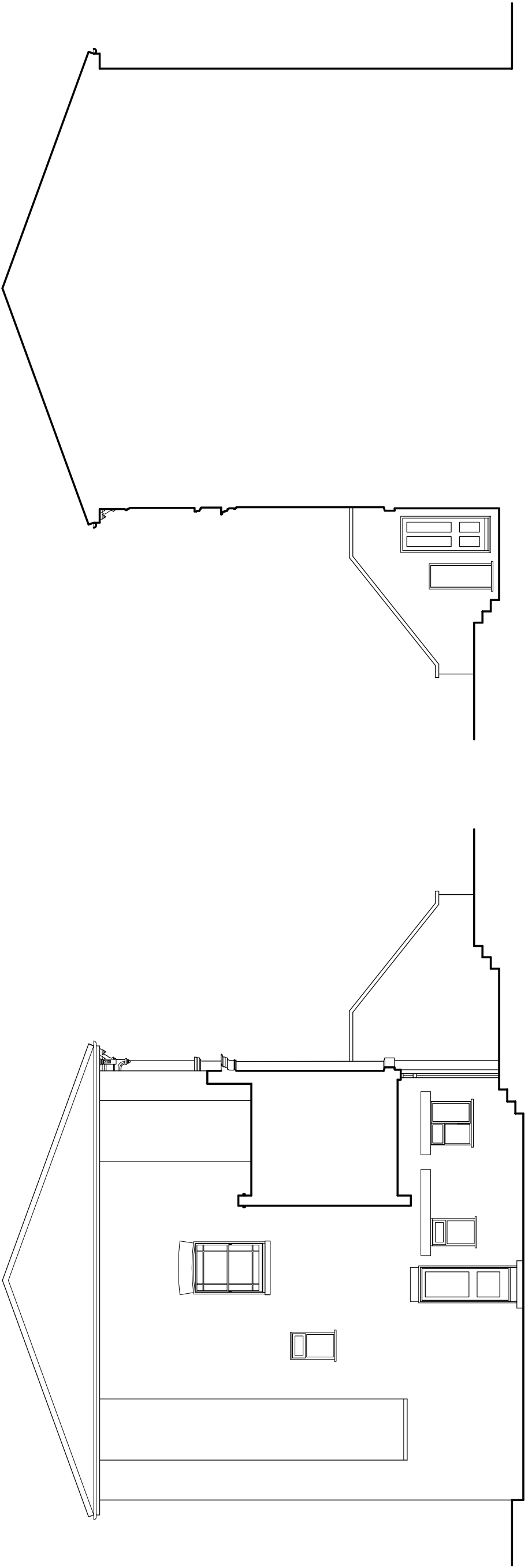
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DWG NO.	248/402	REV.	

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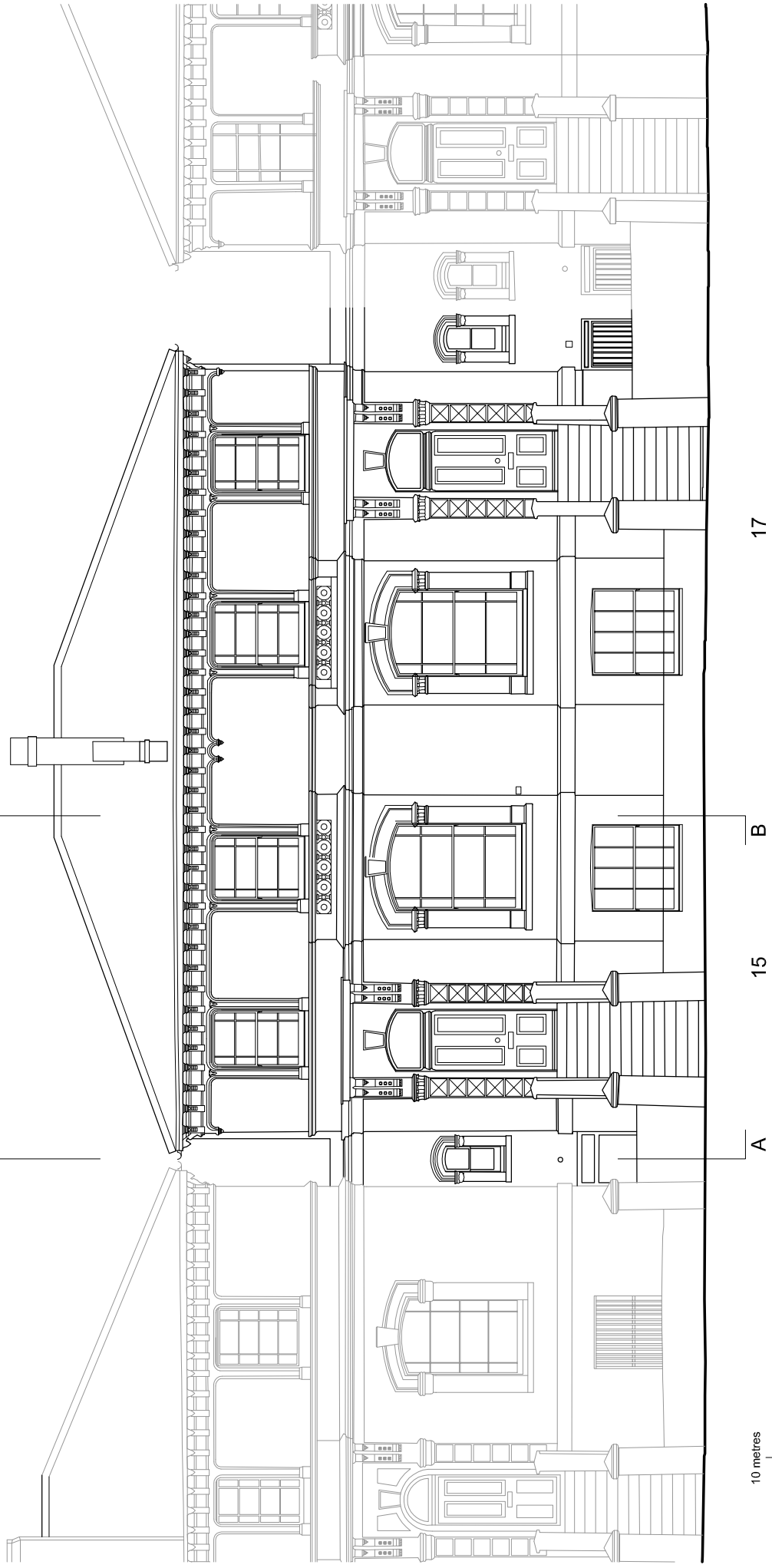


GARDEN ELEVATION



SECTION AA

SECTION BB



0 1 2 3 4 5 10 metres

15

B

17

REVISION	DATE

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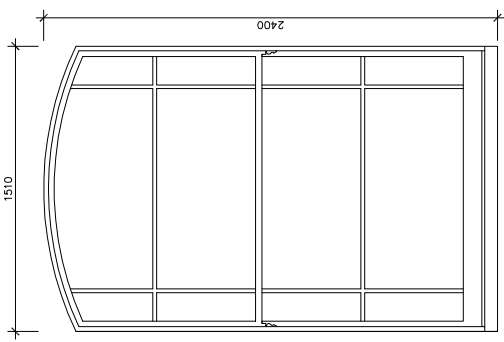
JOB TITLE
**BRENT HOUSING PARTNERSHIP
PLANNED MAINTENANCE
WINDOW REPLACEMENT**

DWG TITLE
**15 - 47 PRINCESS ROAD
SECTIONS AS EXISTING**

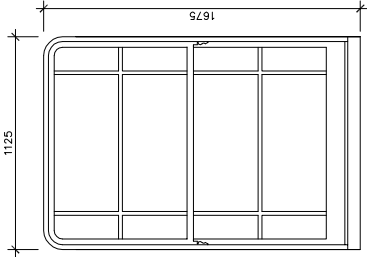
SCALE 1:50 @ A3 DWN bs

DATE 6/16 CHK. kr

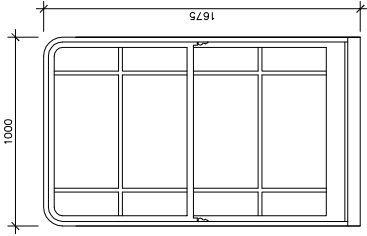
DWG NO. 248/403 REV.



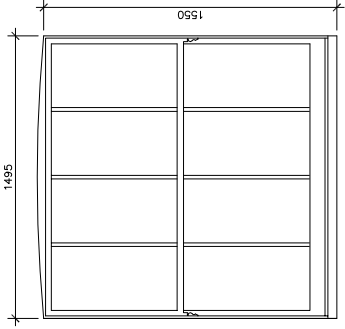
W1
No. :
Location : Street elevation - First
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



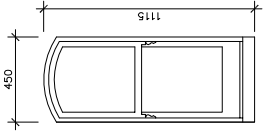
W2
No. :
Location : Street elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



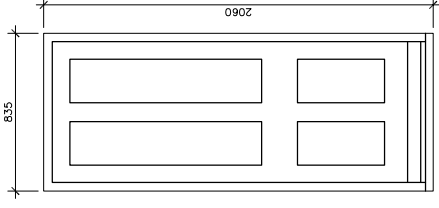
W3
No. :
Location : Street elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



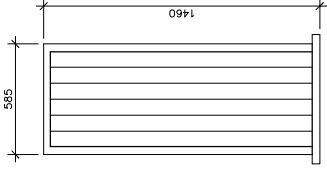
W4
No. :
Location : Street elevation - Ground
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



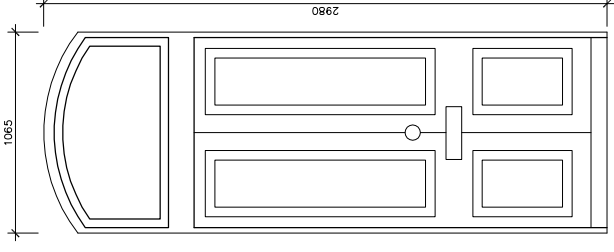
W5
No. :
Location : Street elev - First
Material : Timber
Opening : Sliding sashes
Glazing : Single glazed
Glass : Frosted



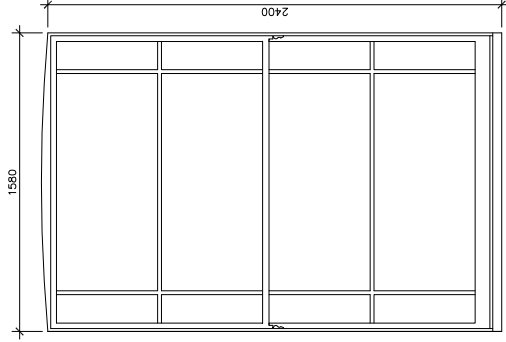
D1
No. :
Location : Street elevation - Ground
Material : Timber
Opening : Inward opening door
Glazing : Single glazed
Glass : Clear float



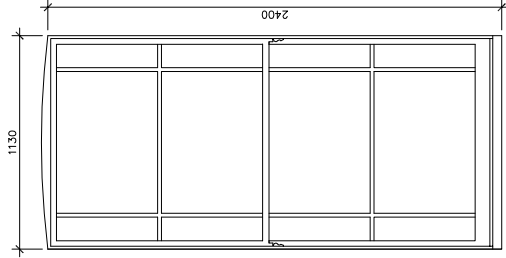
D2
No. :
Location : Street elevation - G
Material : Timber store door
Opening : Outward opening
Glazing : Nil
Glass : .



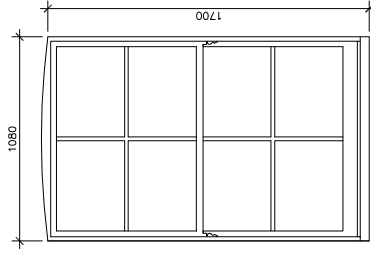
D3
No. :
Location : Street elevation - First
Material : Timber panelled door
Opening : Inward opening
Glazing : Single glazed/ainlight
Glass : Clear float



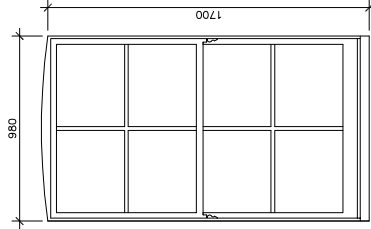
W6
No. :
Location : Garden elevation - First
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



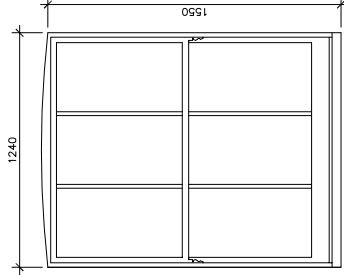
W7
No. :
Location : Garden elevation - First
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



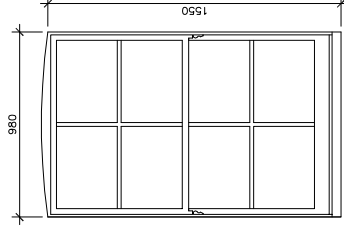
W8
No. :
Location : Garden elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



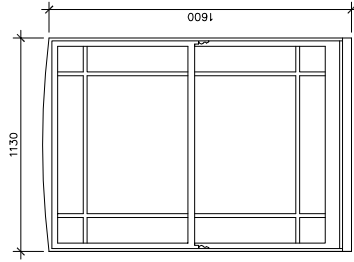
W9
No. :
Location : Garden elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



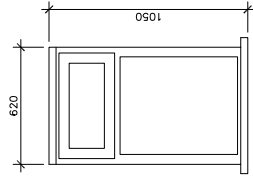
W10
No. :
Location : Garden elevation - Ground
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



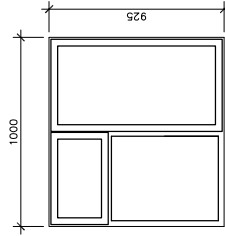
W11
No. :
Location : Garden elevation - Ground
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



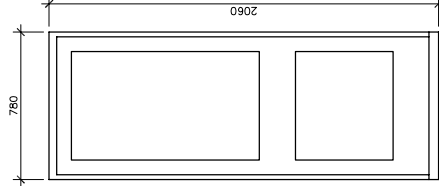
W12
No. :
Location : Side elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



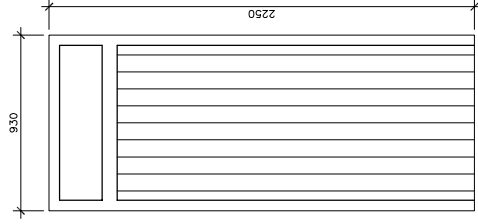
W14
No. :
Location : Side elev - Ground
Material : Timber
Opening : Top-hung casement
Glazing : Single glazed
Glass : Frosted



W15
No. :
Location : Side elevation - Ground
Material : Steel
Opening : Sides + top-hung casements
Glazing : Single glazed
Glass : Clear float



D4
No. :
Location : Side elevation - Ground
Material : Timber
Opening : Inward opening door
Glazing : Single glazed
Glass : Clear float



D5
No. :
Location : Side elevation - Ground
Material : Timber
Opening : Inward opening gate
Glazing : Nil
Glass : .

NOTES

MATERIALS

Roofs: Natural British slates to match existing, clay Plain Angle ridge and hip tiles, colour orange/red

Fascias: timber, painted black, with fibre-cement soffits painted white

Entrance canopy: Code 5 lead covered, with wood roll as required

Rainwater goods: Cast aluminium, powder coated Black (half-round gutters)

Brickwork: Weathered yellow London stocks

Render: smooth, painted Cream (to Ground floor, external stairs and window surrounds on street elevation, and rendered garden walls).

Windows: timber, painted White.

Existing sash windows retained and repaired. Modern casement windows and glazed doors replaced with double-glazed timber windows and doors to existing configurations.

Front entrance doors: Existing panelled timber doors retained and repaired. Modern flush doors replaced with panelled timber doors to match original doors to adjoining properties.

REVISION	DATE
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C. NOTES AMENDED	1/17
B. NOTES ADDED	1/17
A. EXISTING SASH WINDOWS RETAINED	11/16

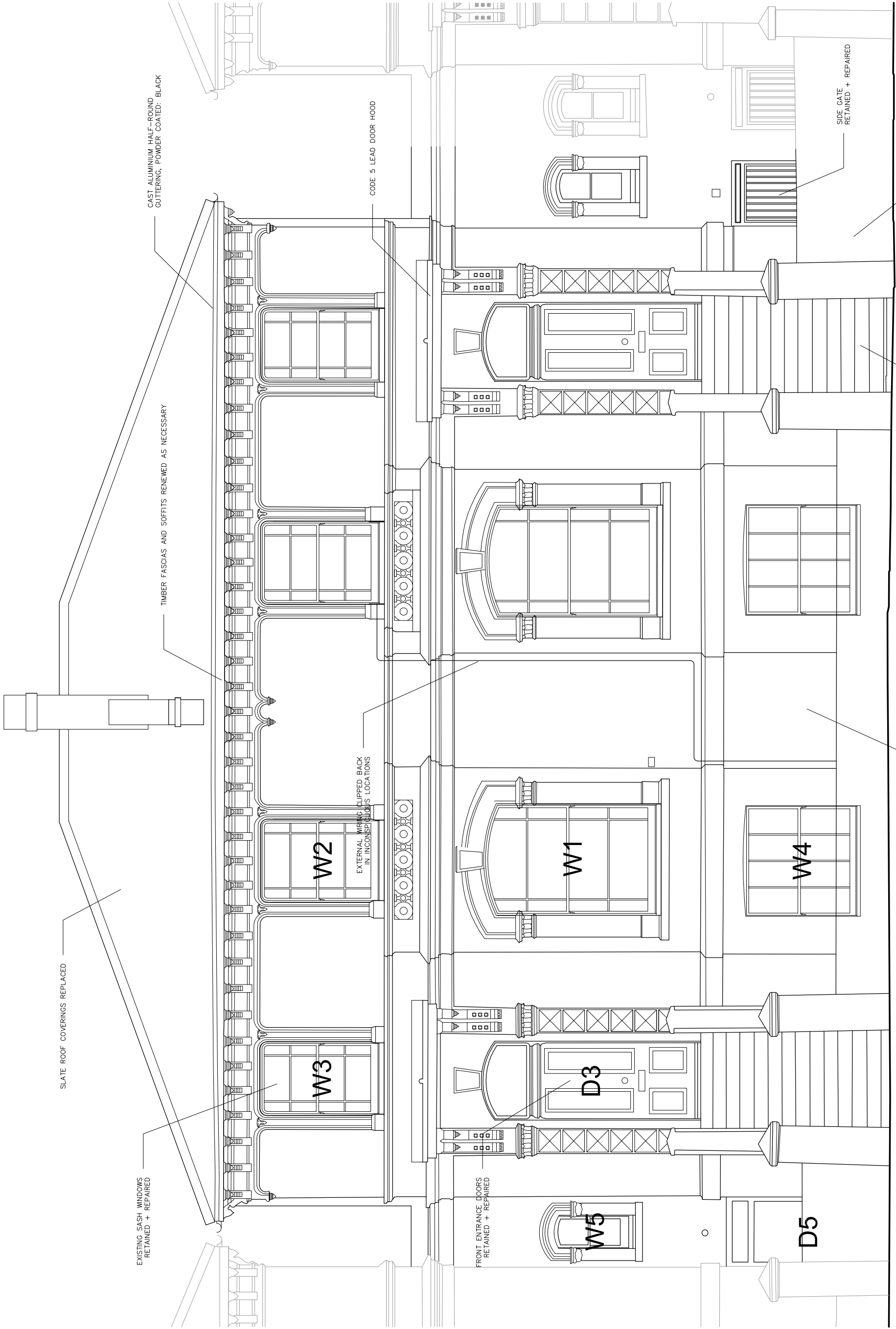
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JOB TITLE
BRENT HOUSING PARTNERSHIP
PLANNED MAINTENANCE
WINDOW REPLACEMENT

DWG TITLE
PRINCESS ROAD
(15 - 47, 51 - 65, 42 - 64, 80, 82)
ELEVATIONS AS PROPOSED
SHEET 1 OF 2

SCALE	1:50 @ A3	DWN	bs
DATE	6/16	CHK	kr
DWG NO.	248/405	REV.	C



17

15



STREET ELEVATION

NOTES

MATERIALS

Roofs: Natural British slates to match existing, clay Plain Angle ridge and hip tiles, colour orange/red

Fascias: timber, painted black, with fibre-cement soffits painted white

Entrance canopy: Code 5 lead covered, with wood roll as required

Rainwater goods: Cast aluminium, powder coated Black (half-round gutters)

Brickwork: Weathered yellow London stocks

Render: smooth, painted Cream (to Ground floor, external stairs and window surrounds on street elevation, and rendered garden walls).

Windows: timber, painted White.

Existing sash windows retained and repaired. Modern casement windows and glazed doors replaced with double-glazed timber windows and doors to existing configurations.

Front entrance doors: Existing panelled timber doors retained and repaired. Modern flush doors replaced with panelled timber doors to match original doors to adjoining properties...

REVISION DATE

- C. NOTES AMENDED 1/17
- B. NOTES ADDED 1/17
- A. EXISTING SASH WINDOWS RETAINED 11/16

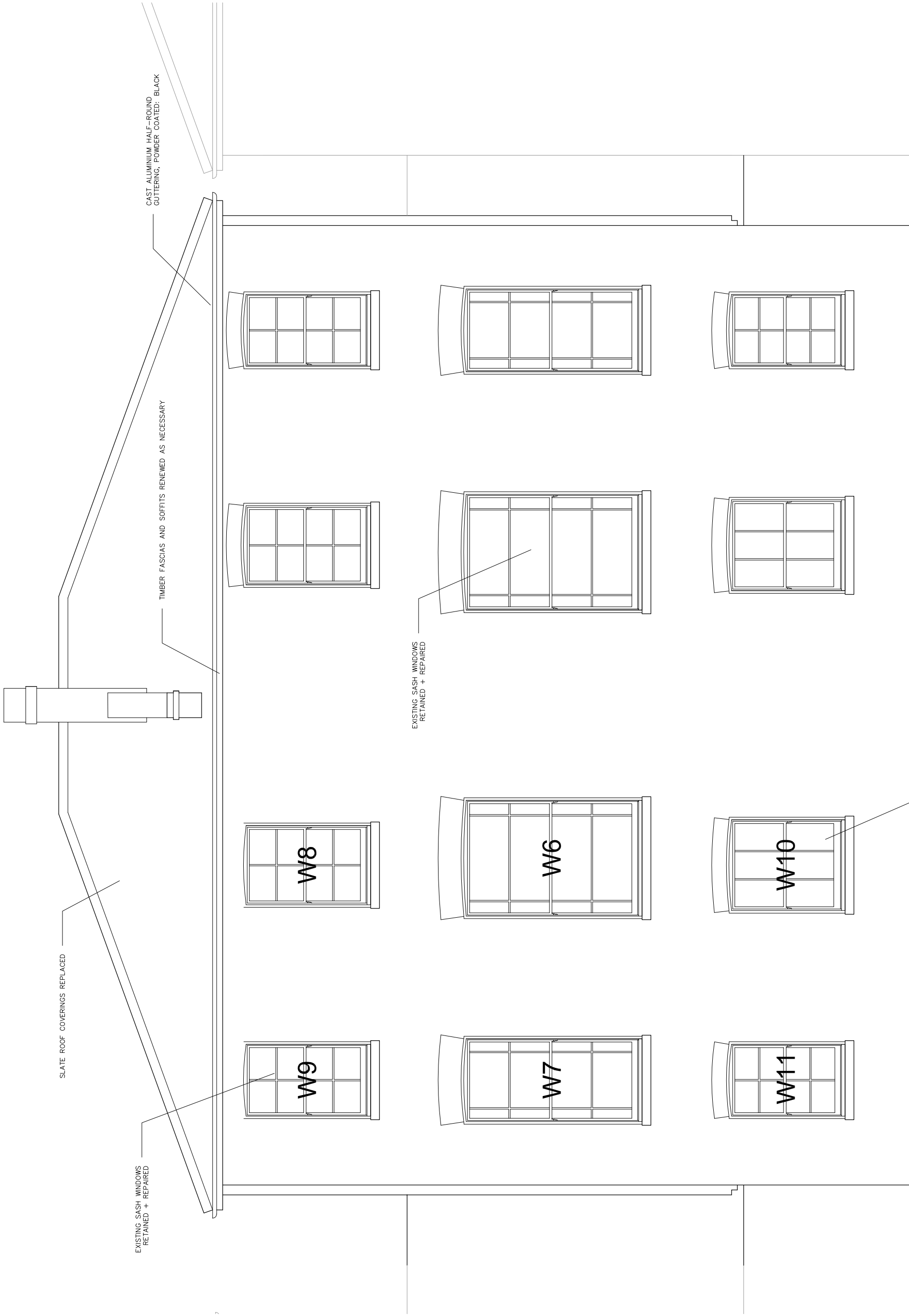
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JOB TITLE
**BRENT HOUSING PARTNERSHIP
PLANNED MAINTENANCE
WINDOW REPLACEMENT**

DWG TITLE
**PRINCESS ROAD
(15 - 47, 51 - 65, 42 - 64, 80, 82)
ELEVATIONS AS PROPOSED
SHEET 2 OF 2**

SCALE 1:50 @ A3 DWN bs
DATE 6/16 CHK. kr
DWG NO. 248/406 REV. C



15

17



GARDEN ELEVATION

NOTES

MATERIALS

Roofs: Natural British slates to match existing, clay Plain Angle ridge and hip tiles, colour orange/red

Fascias: timber, painted black with fibre-cement soffits painted white

Entrance canopy: Code 5 lead covered, with wood roll as required

Rainwater goods: Cast aluminium, powder coated Black (half-round gutters)

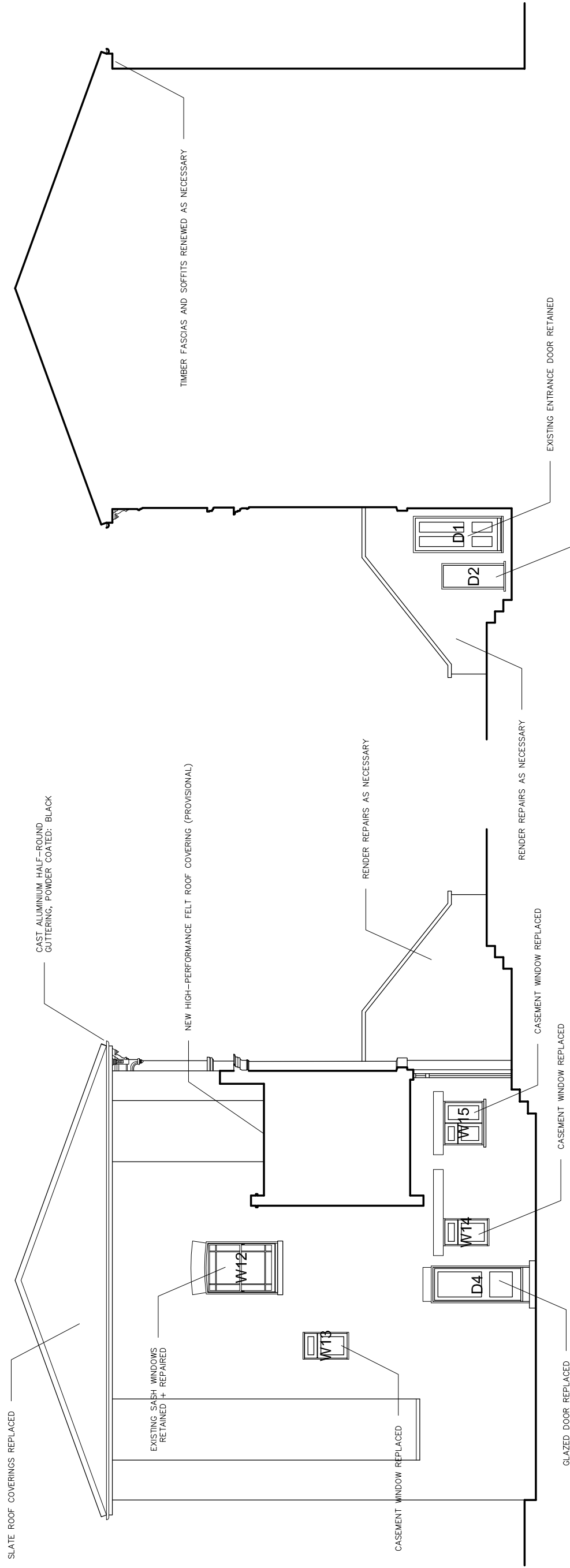
Brickwork: Weathered yellow London stocks

Render: smooth, painted Cream (to Ground floor, external stairs and window surrounds on street elevation, and rendered garden walls).

Windows: timber, painted White.

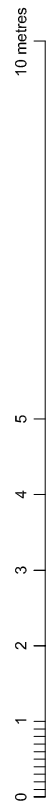
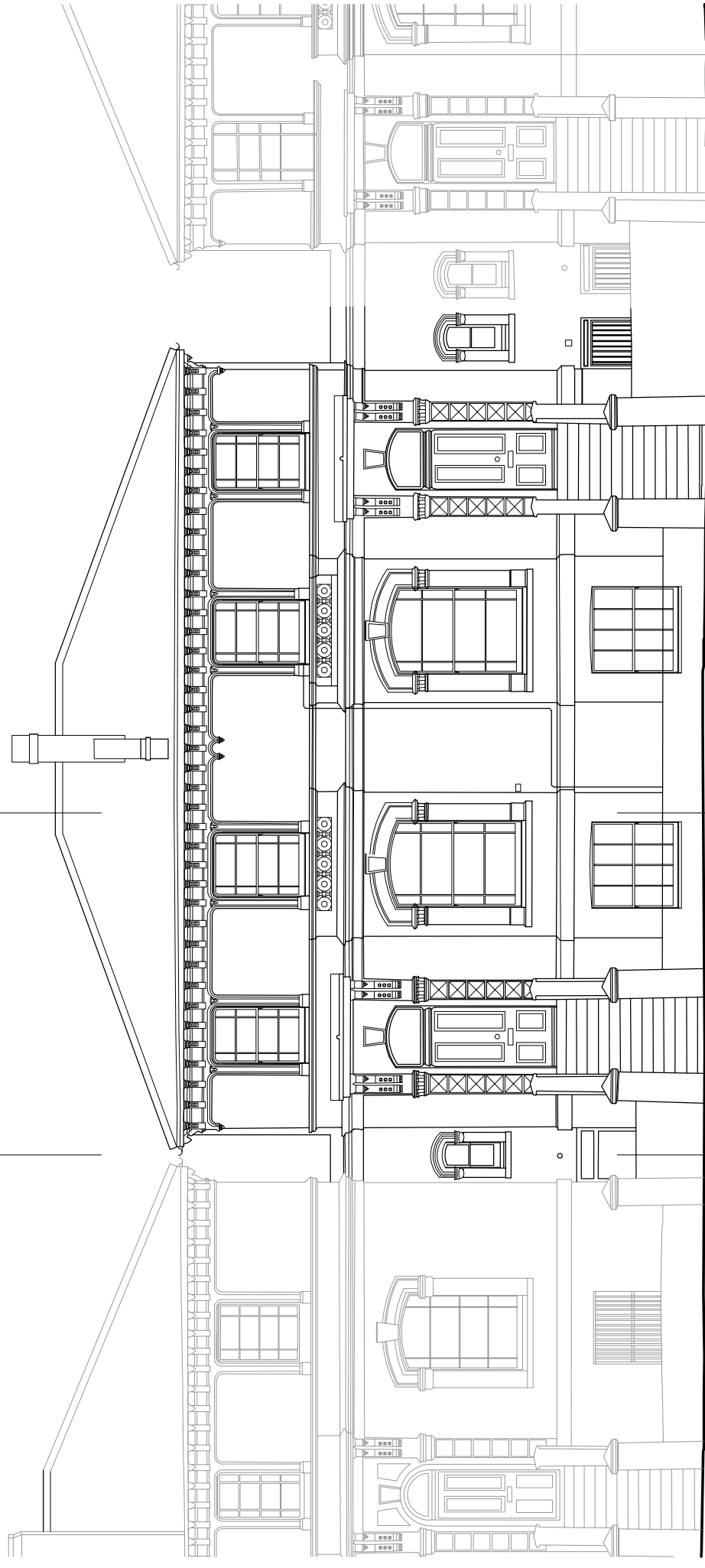
Existing sash windows retained and repaired. Modern casement windows and glazed doors replaced with double-glazed timber windows and doors to existing configurations.

Front entrance doors: Existing panelled timber doors retained and repaired. Modern flush doors replaced with panelled timber doors to match original doors to adjoining properties.



SECTION AA

SECTION BB



17

15

B

A

REVISION	DATE
C	NOTES AMENDED 1/17
B	NOTES ADDED 1/17
A	EXISTING SASH WINDOWS RETAINED 11/16

C	NOTES AMENDED	1/17
B	NOTES ADDED	1/17
A	EXISTING SASH WINDOWS RETAINED	11/16

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JOB TITLE
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PLANNED MAINTENANCE
WINDOW REPLACEMENT

DWG TITLE
PRINCESS ROAD
(15 - 47, 51 - 65, 42 - 64, 80, 82)
SECTIONS AS PROPOSED

SCALE	1:50 @ A3	DWN	bs
DATE	6/16	CHK	kr
DWG NO.	248/407	REV.	C

NOTES

MATERIALS

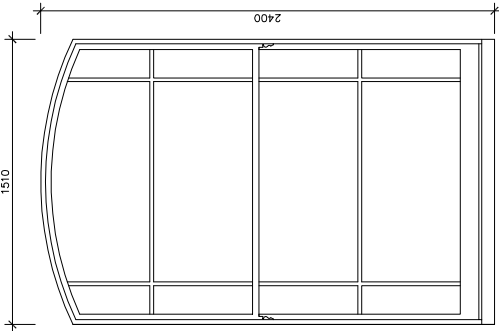
Windows: timber, painted White.

Existing sash windows retained and repaired. Modern casement windows and glazed doors replaced with double-glazed timber windows and doors to existing configurations.

Front entrance doors: Existing panelled timber doors retained and repaired. Modern flush doors replaced with panelled timber doors to match original doors to adjoining properties.

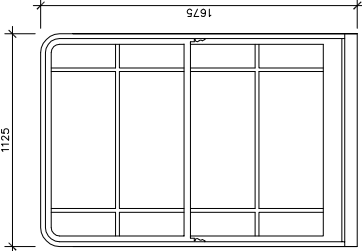
W1 Existing retained

No. :
Location : Street elevation - First
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



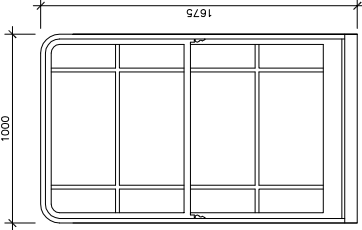
W2 Existing retained

No. :
Location : Street elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



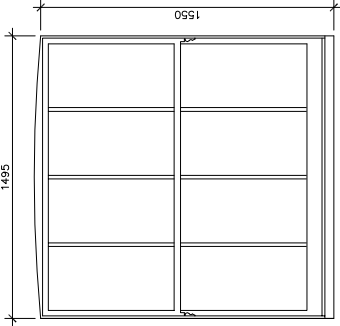
W3 Existing retained

No. :
Location : Street elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



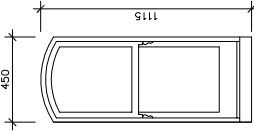
W4 Existing retained

No. :
Location : Street elevation - Ground
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



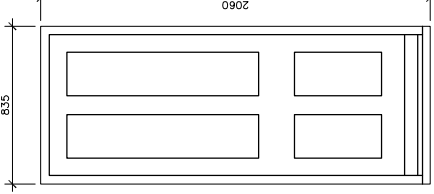
W5 Existing retained

No. :
Location : Street elev - First
Material : Timber
Opening : Sliding sashes
Glazing : Single glazed
Glass : Frosted



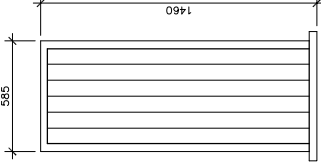
D1 Existing retained

No. :
Location : Street elevation - Ground
Material : Timber
Opening : Inward opening door
Glazing : Single glazed
Glass : Clear float



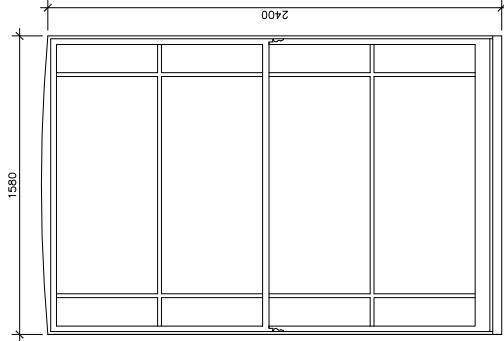
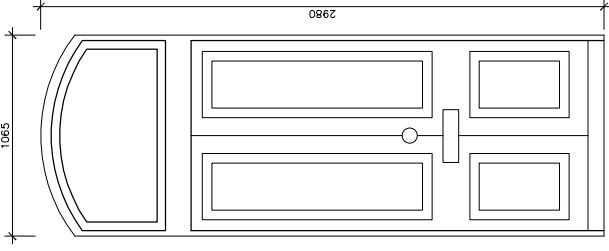
D2

No. :
Location : Street elevation - G
Material : Timber store door
Opening : Outward opening
Glazing : Nil
Glass : -



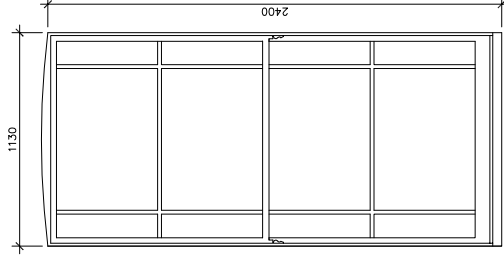
D3 Existing retained

No. :
Location : Street elevation - First
Material : Timber panelled door
Opening : Inward opening
Glazing : Single glazed/ainlight
Glass : Clear float



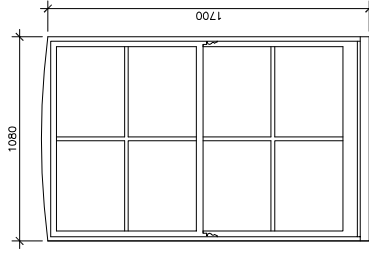
W6 Existing retained

No. :
Location : Garden elevation - First
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



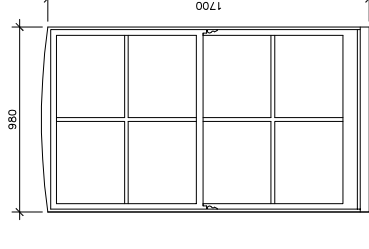
W7 Existing retained

No. :
Location : Garden elevation - First
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



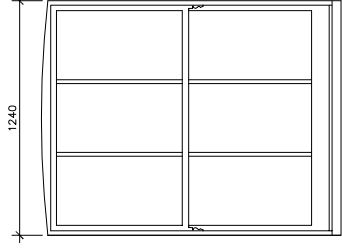
W8 Existing retained

No. :
Location : Garden elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



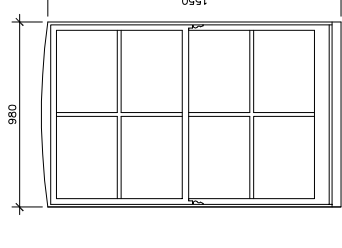
W9 Existing retained

No. :
Location : Garden elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



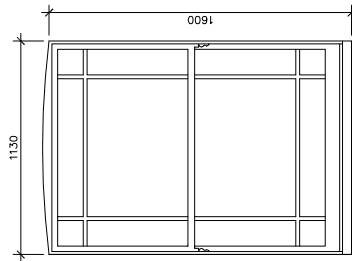
W10 Existing retained

No. :
Location : Garden elevation - Ground
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



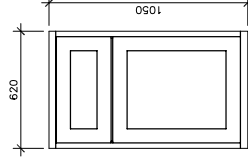
W11 Existing retained

No. :
Location : Garden elevation - Ground
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



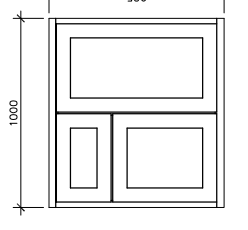
W12 Existing retained

No. :
Location : Side elevation - Second
Material : Timber
Opening : Vertical sliding sashes
Glazing : Single glazed
Glass : Clear float



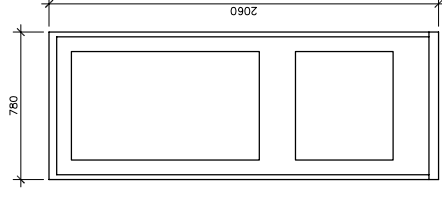
W13

No. :
Location : Side elev - First
Material : Timber
Opening : Top-hung casement
Glazing : Double glazed
Glass : Frosted



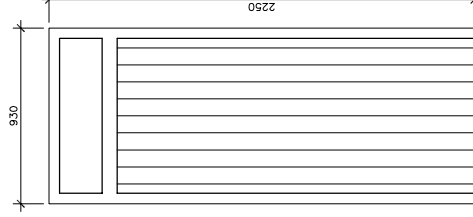
W14

No. :
Location : Side elev - Ground
Material : Timber
Opening : Top-hung casement
Glazing : Double glazed
Glass : Frosted



W15

No. :
Location : Side elevation - Ground
Material : Timber
Opening : Slits & top-hung casements
Glazing : Double glazed
Glass : Clear float



D4

No. :
Location : Side elevation - Ground
Material : Timber
Opening : Inward opening door
Glazing : Double glazed
Glass : Clear float

D5 Existing retained

No. :
Location : Side elevation - Ground
Material : Timber
Opening : Inward opening gate
Glazing : Nil
Glass : -

REVISION

DATE

C. NOTES AMENDED 1/17
B. NOTES ADDED 1/17
A. EXISTING SASH WINDOWS RETAINED 11/16

Do not scale this drawing.
All dimensions to be checked by the Contractor before construction proceeds.
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e-mail: rsb@randallshaw.co.uk
tel: 020 7254 7472

JOB TITLE
BRENT HOUSING PARTNERSHIP
PLANNED MAINTENANCE
WINDOW REPLACEMENT

DWG TITLE
PRINCESS ROAD
(9, 13 - 47, 51 - 65, 42 - 64, 80 - 84)
WINDOWS AS PROPOSED

SCALE 1:50 @ A3 DWN bs

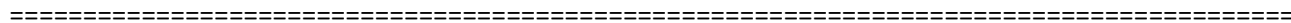
DATE 6/16 CHK. kr

DWG NO. 248/408 REV. C





BRENT COUNCIL
Local Listed Building
Consent Order



Scope of Works

9, 13 – 47, 51 - 65 (odd nos), 32 – 64, 80 - 84 (even nos) Princess Road, London NW6

External repairs and redecorations including replacing and repairing defective components with replacement parts to match the existing

SCOPE OF WORKS

Main roofs

Carefully remove existing slates, battens, underlay and associated flashings. Sound slates to be salvaged for possible re-use or recycling. Relay roof with 38 x 25mm treated sawn softwood roofing battens on vapour permeable underlay. Supply and lay British natural slates and 1 1/2 slates – colour and sizes to match existing. Slates to be laid broken bond, with nominal 5mm gap, fixed with 2.65 x 30mm copper nails and 1no copper disc rivet. Provide and fix code 3 lead soakers at each course together with code 4 lead cover flashing wedged and pointed into brickwork at all abutments.

Retain and re-use existing ridge and hip tiles where possible, together with replacement clay Plain Angle ridge and hip tiles, colour orange/ red, mortar bedded, with cleat and screw fixings between tiles to provide required mechanical fixing. Retain existing or provide and fix 300 x 25 x 6mm galvanised steel hip irons to match existing screwed to hip rafter, to align with eaves overhang of roof slates.

Existing chimney pots to be retained or, where necessary, replaced with pots of similar, size, colour, etc.

Thermal insulation at ceiling level upgraded to achieve U-value of 0.16 W/m²K.

Roofspace ventilation at eaves level and at high level to comply with Building Regulation approved Document F2.

Side extension flat roofs

Works to be determined once access available. Provisional: overlay existing asphalt with 3 layer felt flat roofing system, including PIR insulation board; insulation to achieve U-value of 0.18 W/m²K.

Entrance canopies

Code 5 lead flat door hood, with 45 x 45mm wood-cored or bossed hollow roll joint, if required, on centre-line of hood, including underlay, clipped front edges and code 4 lead cover flashing wedged and pointed into brickwork. Carry out necessary repairs to canopy sub-structure to Conservation Officer's approval – works to be determined once access available.

Fascias

Remove any defective timber fascia boards and replaced with new treated timber boards – prepare and gloss paint, colour Black.

Remove existing defective soffit boards and replace with fibre-cement building boards to side and rear elevations and paint White to match existing.

Rainwater goods

Remove existing plastic rainwater goods and replace with cast aluminium half-round guttering and round downpipes, powder coated Black, from Alumasc Heritage range, or equal approved.

Brickwork

Repoint only where necessary with lime mortar to match adjoining brickwork, to Conservation Officer's approval. Rake out joints to depth 18-25mm, without power tools, and repoint with lime-based mortar to match existing joint detail.

Replace damaged or mis-matched bricks (eg where boiler flues have been removed) with weathered yellow stock bricks to match existing. Carefully cut out damaged or defective brickwork to half brick depth. Supply and lay new bricks to match existing in lime mortar, pointing to match existing.

Employ specialist contractor to strip paint off existing brickwork using water based paint stripper. No grit blasting, wire brushing, burning or chemical based cleaner to be used. A soot wash may be required to offset effect patchiness of repointed, repaired or cleaned brickwork.

Stonework

Undertake specialist repairs to existing decorative features, to Conservation Officer's approval.

Render

Carefully remove existing render where loose or defective. Clean and prepare substrate, undercut edges of retained render and re-render in two coats cement:lime:sand mortar to match existing.

Repairs are to be carried using materials of similar density and strength to adjoining surfaces.

External stairs

Where required, remove existing asphalt to front entrance steps. Apply roofing grade mastic to treads in two coats to a thickness of 25mm, the first coat being 10mm thick and the second being 15mm thick incorporating 10% to 15% of additional coarse aggregate, excluding a separating membrane. Risers to be formed in roofing grade mastic applied in two coats to a thickness of 13mm completed before laying treads. Strings to be formed in roofing grade mastic applied in two coats to a thickness of 13mm dressed into continuous 25 x 25mm chase constructed parallel to the pitch of the stairs. Where existing asphalt is retained, carry out patch repairs to match existing.

Windows

Overhaul and repair existing timber sash windows. Repairs to windows to include splicing in new timber cills, sections, etc., utilising epoxy wood repair system, to match existing profiles. Where replacement sashes are required sash is to replicate existing in every respect – single glazed, with glazing bars in existing locations. Replace sash cords, parting and stop beads as necessary, and ensure that sashes open freely.

Repairs to defective joinery to be completed using Repair Care or Timbabil prior to paint epoxy wood repair system. Remove paint for at least 10mm beyond area to be treated. Remove all decayed or damaged timber from repair area using router or chisel. Remove all loose fibres and ensure moisture content is no higher than 18%. Mix and apply two-part stabiliser and, within 4 hours, apply two-part filler or, where splicing in, apply resin bead to repair area and force timber splice section into place, ensuring all voids are filled. Allow 24 hours to cure, remove any shuttering, sand and finish. Where filling open joints (to bottom rails of windows, etc) open joint to minimum width 4mm and depth 10mm using router and fill with two-part epoxy wood filler. Replace cracked or broken glass, with putty glazing to match existing profile.

Replace existing PVCu sash windows with single-glazed timber sash windows to match adjoining properties. Remove existing single-glazed steel or timber casement windows to side elevations and replace with double-glazed timber windows to existing configurations, painted White.

Doors

Overhaul and repair existing panelled timber doors and frames. Repairs to doors to include removing defective timber and filling or splicing in new timber sections, utilising epoxy wood repair system (as above), to match existing profiles.

Replace existing flush entrance doors (eg 9 Princess Road, ground and first) with new glazed, panelled timber doors, to replicate existing original pattern doors elsewhere in street.

Where required, remove existing single-glazed timber doors to side elevations and replace with double-glazed timber doors to existing configurations, painted White.

External decorations

Prepare and masonry paint rendered surfaces, Cream to match existing RAL 1013 or BS 10 B 15.

Ensure surfaces to be painted are sound, clean and dry. Wash down previously painted surfaces to remove all dirt, grease or chalking paint. Rinse and allow to dry. Scrape back to a firm edge all areas of poorly adhering or defective coatings and rub down. Treat areas affected by mould, lichens, moss, etc with fungicidal wash. Make good minor defects with appropriate filler (sand/cement or lime mortar for larger holes or cracks). Seal new or bare surfaces with thinned first coat masonry paint. Any areas that remain powdery, friable or chalky treat with stabilising primer. Apply two coats smooth masonry paint.

Prepare and gloss paint windows and private external doors, colour White. Ensure all surfaces are sound, clean and dry and free from all defective or poorly adhering material, dirt or grease. Apply one coat primer/undercoat to all bare areas. Repair damaged glazing compounds. Apply one coat undercoat and two coats gloss finish.

Prepare and gloss paint entrance doors on street elevations. Colours to be selected by residents from limited range, as BHP Colour Choices – Rich Black, Oxford Blue, Highland Green and Red Stallion 2.

External wiring

Remove any redundant external wiring. Tidy up existing external cabling to be retained – clip cabling back to brickwork, close to internal corners or concealed wherever possible. Cabling to run vertically and horizontally only.

Remove satellite dishes and cabling.

External works

Repair any damage to external walls, paths and steps. Piece in missing tiles to match existing.

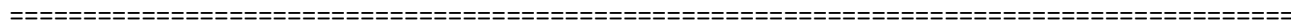
BS

RSB

revised 23.01.17



BRENT COUNCIL
Local Listed Building
Consent Order



Statement of Reasons

=====
This Local Listed Building Consent Order is made under the provisions as set out in the Town and Country Planning, England, Local Listed Building Consent Orders)(Procedure) Regulations 2014 No. 551.

For properties: 9, 13 – 47 (odd), 51 - 65 (odd), 32 – 64 (even), 80 - 84
(even) Princess Road, London NW6 5QT

STATEMENT OF REASONS FOR MAKING THE LOCAL LISTED BUILDING CONSENT ORDER

1. Summary of the special interest of the listed buildings:

London stock brick and stucco villas dating from 1861-1873. The properties were quite expensively constructed at the time which is still apparent in their external decoration. Their architectural designs are of Italianate origin and their repetition amounts to a positive trade-mark for the street and the whole estate. The villas were built on the Willesden Estate of the Ecclesiastical Commissioners. An important part of their design was not only the ornate decoration for example the sash windows, slate roofs and chimneys but also the setting of the properties and the rhythmical layout of low walls and tall entrance pillars presenting a coherent and ordered streetscene. The houses are two storeys in height with basements. This is one of two roads within the South Kilburn Conservation Area where the houses are preserved on both sides of the street giving the road a greater degree of completeness and contribution to the coherence of the area.

The villas are all listed Grade II and the individual list descriptions are included in Appendix 1. The buildings are also included within the South Kilburn Conservation Area which was designated in 1979. A map and the Character Appraisal is included in Appendix 2. The villas and the conservation area are significant heritage assets.

2. Likely effect of the proposed works on the special architectural or historic interest:

In general, these proposals are considered to be works of repair, overhaul, maintenance and rational, crucial replacement of fabric. They are necessary to preserve the character and integrity of the listed buildings. The works of repair will be undertaken by specialists' in historic buildings. The works comprising maintenance and overhaul will be provided by traditional methods and are not invasive towards the historic fabric. They will provide protective coatings to the building. Replacement elements have been carefully chosen so that the components match existing. Only in a few areas will there be new work where it will not precisely match: this is in locations where there is very little architectural significance or historic value. The works are a mixture of improvements and enhancements. Seen together, the works will preserve the character, integrity and features of special architectural or historic interest of the villas.

Specifically, in terms of:-

Roofs

The existing fabric of the roofs had been patched-repaired and has had ad hoc replacement in the past (c1985) and the works to structure is therefore not considered detrimental. In any case, the battens are of no particular special interest and the introduction of insulating felt will improve the sustainability of the listed buildings. The existing natural slate/hip and ridge tiles will be retained and reused where possible and new will match existing profiles. The scrolled metal hip irons will be retained, replaced where broken and reinstated where missing, therefore enhancing the character of the building. Some of the fascias and soffits are rotten and replacement will prevent water ingress. These works will preserve or enhance the special character of the listed buildings.

Elevations

The brick elevations have generally been well maintained and only where necessary will they need to be carefully repointed. To some of the side elevations, lower ground floor, and to the rear where pipework has been re-routed, bricks will be required to be placed-in where there are breaches. Sections of render and stucco where it has blown will be replaced and the profiles reinstated in materials to match. These works will provide a more robust and enriched façade and are considered to enhance the special character of the listed buildings.

Entrance canopies

Code 5 lead will be carefully applied to entrance canopy roofs. Although the existing construction did not include lead as a characteristic, installation will prevent water damage and is a traditional way to prevent weathering to such a feature. The canopies are an important architectural element of the overall composition and a practical design feature. The introduction of applied lead will preserve this special architectural attribute. These works will enhance the special character of the listed buildings.

Utilities

Many properties have installed cable television etc. The cables have been randomly installed without the benefit of Listed Building Consent. Some run across the building. The Council would support installation in principle if carefully managed so that the cabling was sensibly and discretely routed and fixed. The rationalisation in inconspicuous locations (painted to match) will not only benefit the individual façade but the terrace as a whole. These works will be a significant improvement and cumulatively enhance the special character of the listed buildings.

Rainwater goods

Many of the properties have PVCu guttering and downpipes. These detract from the listed buildings. New aluminium rain water (painted black) goods will be installed to replace damaged sections and to replace PVCu. This will be a major improvement to the façades. These works will enhance the special character of the listed buildings.

External forecourt and steps

The external forecourts to the properties were originally quite unadorned, mainly hard surface and minimal planting. The existing paving, paths, steps and any tiles will be repaired to match existing. The steps have been covered in asphalt previous to the listing and it would not be cost effective and probably damaging to remove it at this stage; where damaged it will be patched-up. All these works will upgrade the appearance of the property and the overall streetscene. These works will preserve the special character of the listed buildings.

Windows and doors

Throughout Princess Road, one of the best surviving features of the properties are the original windows and doors. These will be overhauled and repaired as necessary. A major enhancement will be the replacement in timber where PVCu has been installed. This will serve to unify the terrace. In some cases additional windows have been installed to the lower ground floors to the sides. These have no relationship with the façade and are later installations from the conversion to flats. They are completely enclosed at this level and cannot be seen. Given that these elements have no special interest it is accepted that they can be replaced by double glazed timber windows to same design painted white. The same is considered acceptable for side doors. These works are considered to preserve the integrity of the listed buildings. Two properties have replacement flush main front doors. These will be replaced to match the profile for the street and a major unifying improvement. The residents' will be given a choice of paint colours: black, blue, green and red. As there is no evidence of a particular scheme for the street this mix of colours will provide a united arrangement.

3. Justification for making the Order:

There are 47 buildings within the street that are statutory listed and all in one ownership. However, may have been divided into flats having a separate address. This Order has been granted because it is a more efficient process than applying for each individual address – there are over 100. This will benefit the owner, residents and the Council. The Order will also assist in the regeneration of the historic environment.

The Order is considered to meet the objective of the regulations in that it allows works which would otherwise require a series of applications for listed building consent to be dealt with by a single consent mechanism. It would also mean that the Freehold owner of the listed buildings will not need to submit repetitive applications for works already granted consent by the Order, and the Council would need to process fewer listed building consent applications for these works.

As the proposed works are matters of repair and minor works and have been fully set out in the Scope of Works it is considered that there is no time limit to the Order and there is no requirement for specific conditions.



BRENT COUNCIL
Local Listed Building
Consent Order

Appendix

Photographs

List Descriptions

Extent of South Kilburn Conservation Area

9, 13 – 47 (odd nos), 51 – 65 (odd nos) Princess Road, London NW6 5QT
32 – 40 (even nos) Princess Road, London NW6 5QU
42 – 64 (even nos), 80 – 84 (even nos) Princess Road, London NW6 5QX

PHOTOS AS EXISTING



Street elevations – 9 Princess Road on right, 13 Princess Road on right



15 and 17 Princess Road street elevation, with no.13 on left



32 Princess road on right, 34 Princess Road on left



84 Princess Road



Rear elevations -13 Princess Road in foreground, 9 Princess Road on right



View from garden towards street, with 13 Princess Road on right, 15 Princess Road on left



Rear elevations -17 Princess Road on right, 19 - 23 Princess Road beyond



Rear elevations of 74, 76, 78 and 80 Princess Road



Typical front entrance door at first floor level (17 Princess Road)



Typical street elevation ground and first floor windows



Typical ground floor flat entrance door (15 Princess Road)



External store/ intake room door below entrance steps



Typical link block between main buildings, with ground level access gates to rear gardens



Street elevation first floor window to 84 Princess Road



Street elevation first floor bay window to 84 Princess Road



Street elevation ground floor bay window to 84 Princess Road



Ground floor side elevation garden door (15 Princess Road)



Ground floor side elevation bathroom window (15 Princess Road)



Ground floor side elevation steel kitchen window, with gate to street on right (15 Princess Road)



Upper floor side elevation windows (15 Princess Road)



Historic England

9,11 AND 13, PRINCESS ROAD NW6

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: 9,11 AND 13, PRINCESS ROAD NW6

List entry Number: 1359037

Location

9,11 AND 13, PRINCESS ROAD NW6

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Brent

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 28-Mar-1977

Date of most recent amendment: Not applicable to this List entry.

Legacy System Information

Legacy System: LBS

UID: 198778

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

1. 5006 PRINCESS ROAD NW6 TQ 2583 14/13 5.5.77 No 9 28.3.77 Nos 11 and 13

II GV

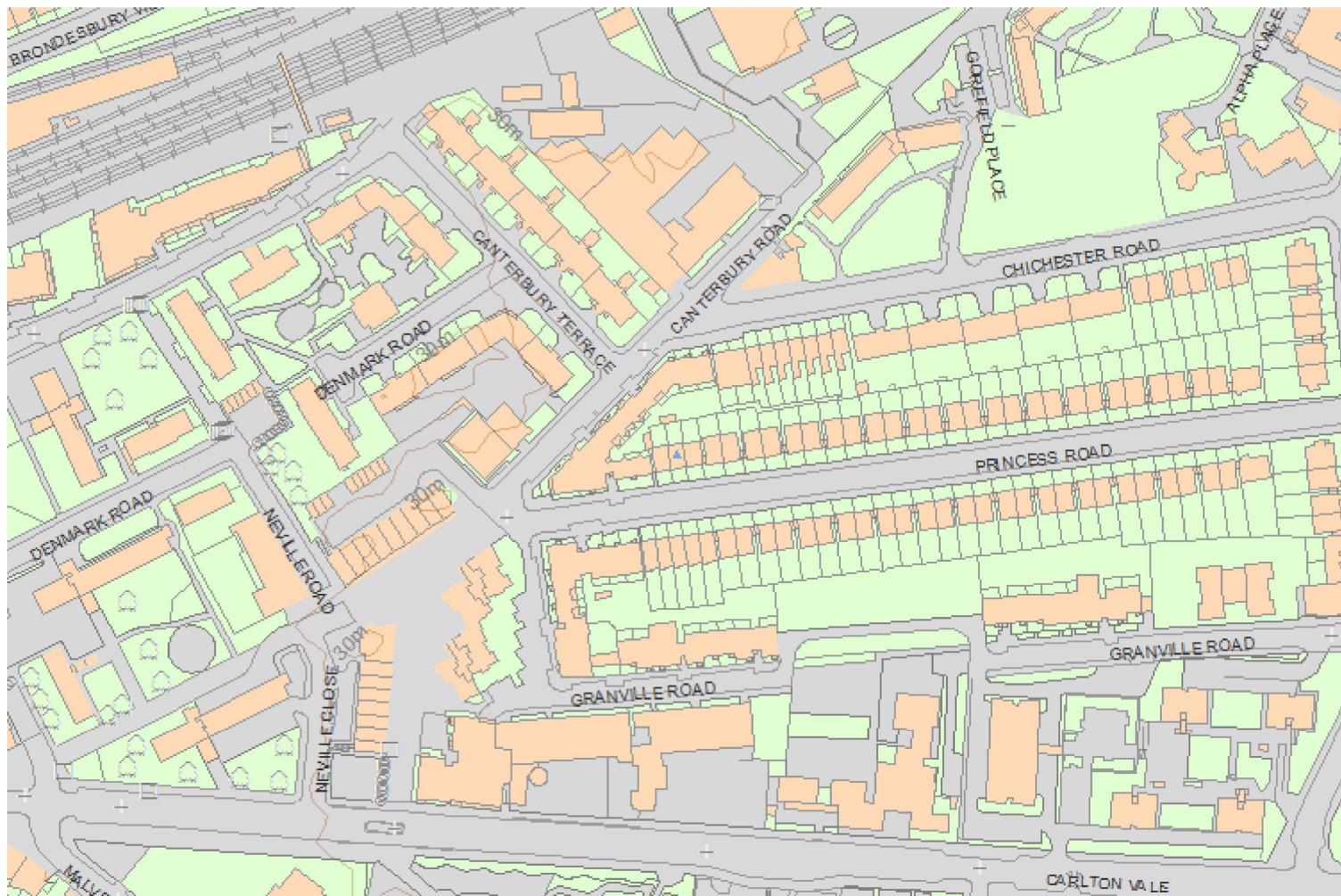
2. Mid 19th century. Terrace houses, each 2 storeys and basement, 2 bays wide; brick with stucco dressings; ground floor windows with segmental heads. Bracketed eaves cornice to slate roof.

Listing NGR: TQ2511083180

Selected Sources

Legacy Record - This information may be included in the List Entry Details

Map



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(http://mapservices.HistoricEngland.org.uk/printwebservicehle/StatutoryPrint.svc/399805/HLE_A4L_Grade|HLE_A3L_Grade.pdf)

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End of official listing



Historic England

15-29, PRINCESS ROAD

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: 15-29, PRINCESS ROAD

List entry Number: 1078885

Location

15-29, PRINCESS ROAD

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Brent

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 28-Mar-1977

Date of most recent amendment: Not applicable to this List entry.

Legacy System Information

Legacy System: LBS

UID: 198779

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

1. 5006 PRINCESS ROAD NW6 Nos 15 to 29 (odd) TQ 2583 14/14 28.3.77

II GV

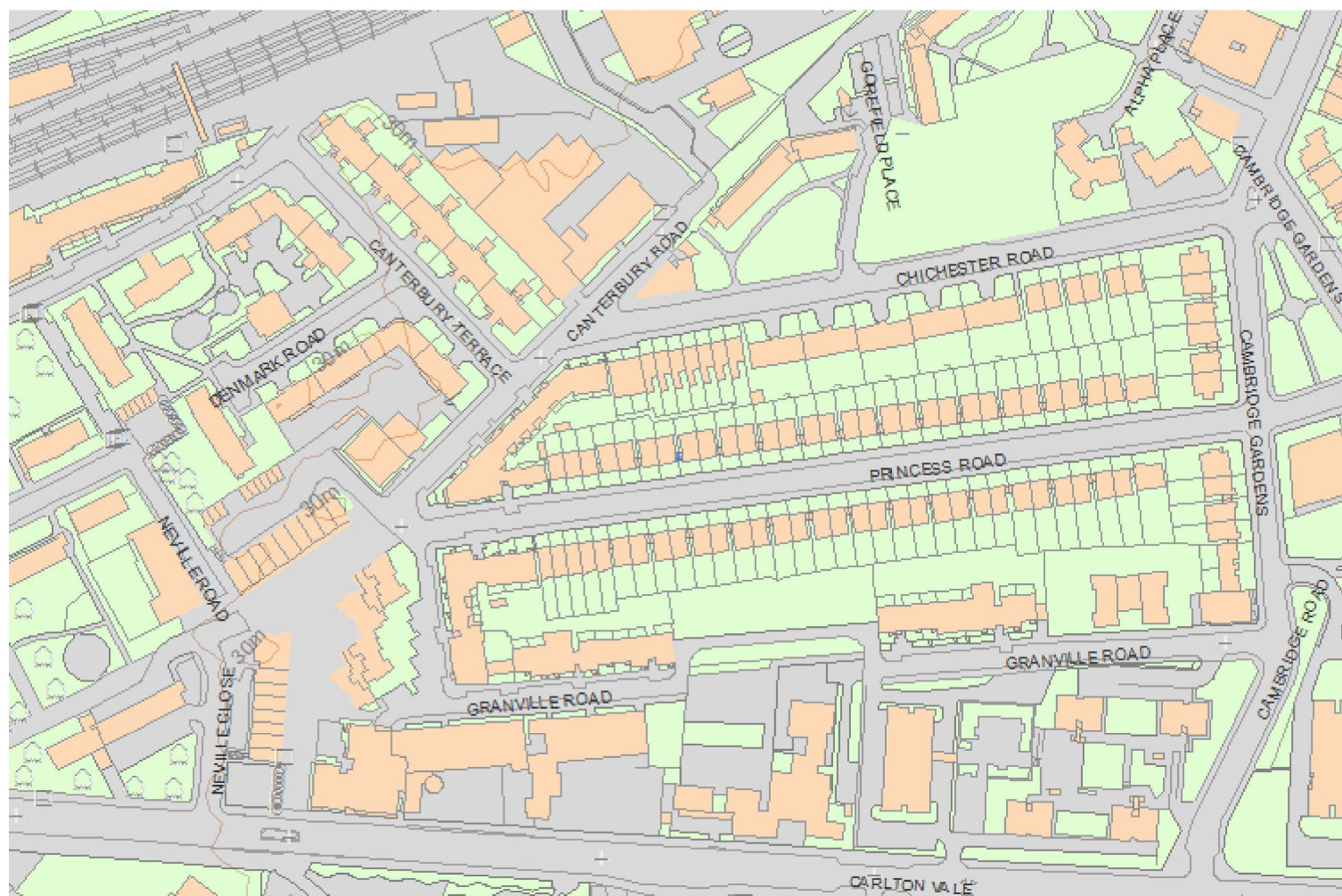
2. Mid 19th century. Villas in pairs, 2 bays wide; brick with stucco dressings; ground floor windows with segmental heads. Bracketed eaves cornice to slate roof.

Listing NGR: TQ2515883187

Selected Sources

Legacy Record - This information may be included in the List Entry Details

Map



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For a copy of the full scale map, please see the attached PDF - [1078885 .pdf](#)
(http://mapservices.HistoricEngland.org.uk/printwebservicehle/StatutoryPrint.svc/79627/HLE_A4L_Grade|HLE_A3L_Grade.pdf)

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End of official listing



32-84, PRINCESS ROAD NW6

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: 32-84, PRINCESS ROAD NW6

List entry Number: 1078886

Location

32-84, PRINCESS ROAD NW6

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Brent

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 28-Mar-1977

Date of most recent amendment: Not applicable to this List entry.

Legacy System Information

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 198781

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

1. 5006 PRINCESS ROAD NW6 Nos 32 to 84 (even) TQ 2583 14/16 28.3.77

II GV

2. Mid 19th century. Long row of villas paired except for No 84 detached. Each 2 storeys and basement; 2 bays wide (No 84 three bays, 2 projecting matching No 67 opposite); brick with stucco dressings. Segmental heads to ground floor windows; bracketed eaves cornice to slate roof. Similar to Nos 15 to 67 opposite.

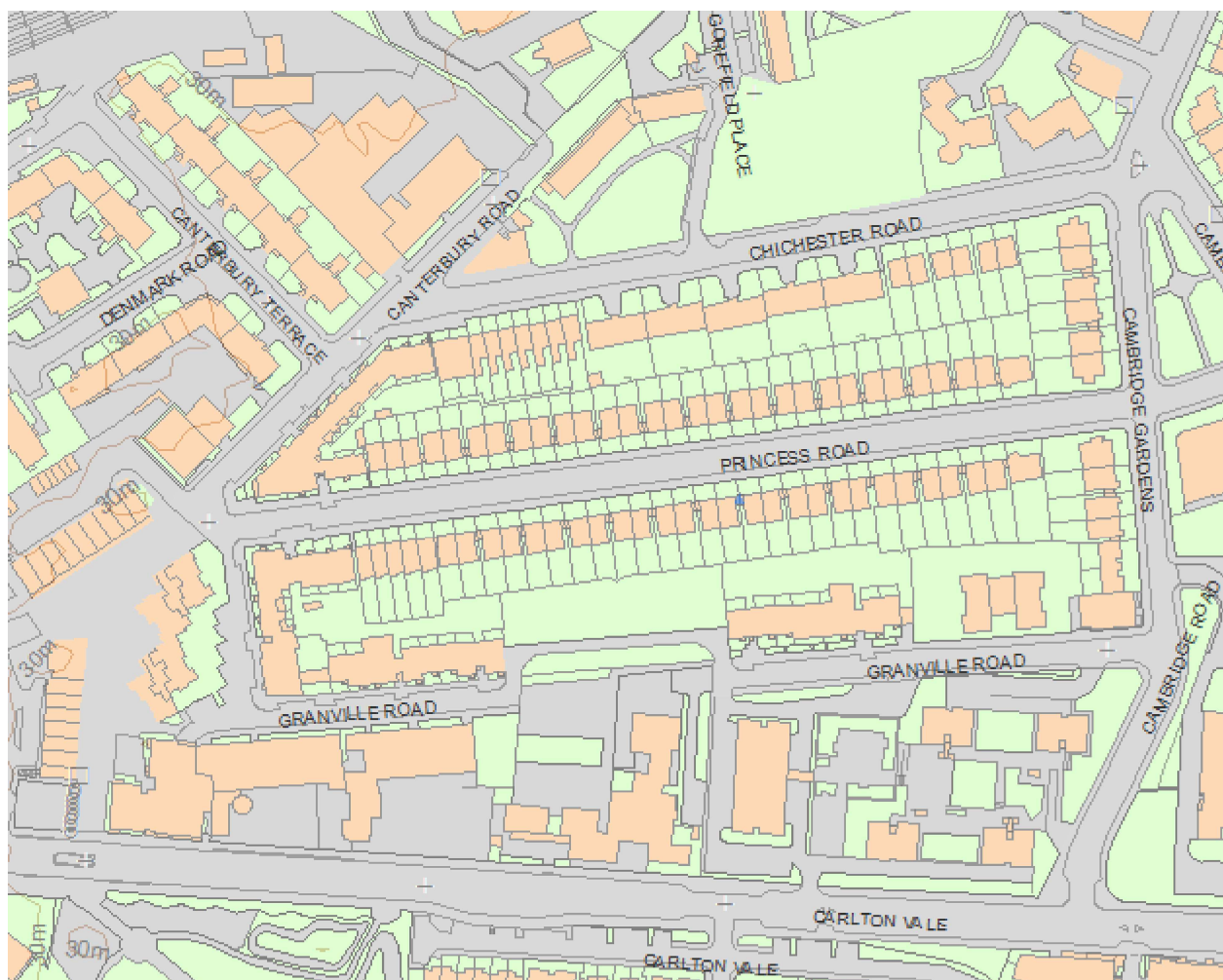
Listing NGR: TQ2531483170

Selected Sources

Legacy Record - This information may be included in the List Entry Details

National Grid Reference: TQ 25234 83165

Map



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(http://gisservices.HistoricEngland.org.uk/printwebservicehle/StatutoryPrint.svc/79628/HLE_A4L_Grade|HLE_A3L_Grade.pdf)

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Historic England

45-67, PRINCESS ROAD NW6, 33-41, PRINCESS ROAD NW6

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: 45-67, PRINCESS ROAD NW6, 33-41, PRINCESS ROAD NW6

List entry Number: 1188703

Location

33-41, PRINCESS ROAD NW6

45-67, PRINCESS ROAD NW6

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Brent

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 31-Mar-1977

Date of most recent amendment: 31-Mar-1978

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 198782

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

1. 5006 PRINCESS ROAD NW6 Nos 33 to 41 and 45 to 67 (odd) TQ 2583 14/17
31.3.78

II GV

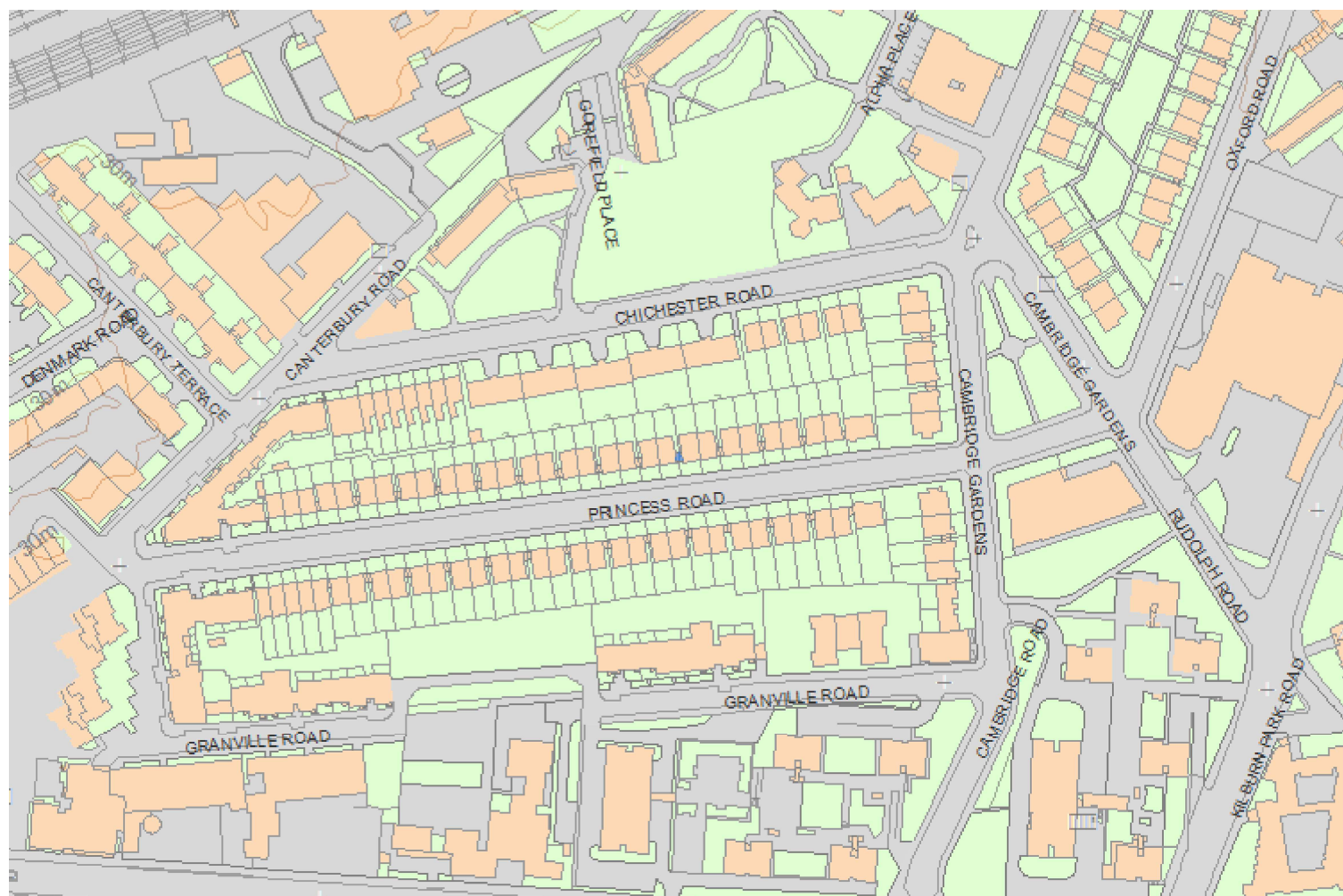
2. Mid 19th century. Pairs of villas, each 2 storeys and basement; 2 bays wide except No 67; brick with stucco dressings ; ground floor windows with segmental heads. Bracketed eaves cornice to slate roof. No 67 three bays wide (2 projecting).

Listing NGR: TQ2524183200

Legacy Record - This information may be included in the List Entry Details

National Grid Reference: TQ 25261 83198

Map



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The above map is for quick reference purposes only and may not be to scale. For a copy of the full scale map, please see the attached PDF - [1188703.pdf](#) (http://mapservices.HistoricEngland.org.uk/printwebservicehle/StatutoryPrint.svc/427140/HLE_A4L_Grade|HLE_A3L_Grade.pdf)

The PDF will be generated from our live systems and may take a few minutes to download depending on how busy our servers are. We apologise for this delay.

This copy shows the entry on 24-Mar-2016 at 05:24:03.

South Kilburn Conservation Area

